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Planning Commission Staff Report

TO: PLANNING COMMISSION / DESIGN REVIEW BOARD

FROM: SYDNEY BETHEL, PLANNER II *SdB*
(480) 503-6721, SYDNEY.BETHEL@GILBERTAZ.GOV

THROUGH: CATHERINE LORBEER, AICP, PRINCIPAL PLANNER *ajl*
(480) 503-6016, CATHERINE.LORBEER@GILBERTAZ.GOV

MEETING DATE: OCTOBER 2, 2019

SUBJECT: DR19-104, OFFICE/WAREHOUSE BUILDINGS LOTS 43 & 44

STRATEGIC INITIATIVE: Exceptional Built Environment

Encourage the protection and expansion of land designated in the General Plan for Employment uses.

RECOMMENDED MOTION

Approve the Findings of Fact and approve DR19-104, Office/Warehouse Buildings Lots 43 and 44: site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 1.08 acres, generally located north of the northeast corner of Pasadena Street and Sunway Drive and zoned Light Industrial (LI) with a Planned Area Development (PAD) overlay.

APPLICANT/OWNER

Company: Almond ADG Architects
Name: Paul Almond
Address: 7330 E. Earl Dr.
Scottsdale, AZ 85251
Phone: (480) 990-2120
Email: paul@almondadg.com

Company: N/A
Name: Eric Cassiant
Address: 503 E. Boston Cir.
Chandler, AZ 85225
Phone: (480) 220-2095
Email: eric.ezm@cox.net

BACKGROUND/DISCUSSION

History

Date	Description
<i>June 5, 1984</i>	Town Council approved case A83-02 annexing 2,085 acres, which included the subject site.
<i>May 28, 1985</i>	The Town Council adopted Ordinance No. 428 (Z84-27), rezoning from (AG) Agricultural to Planned Area Development (PAD) and creating the Sunrise Business Park PAD.
<i>March 24, 1987</i>	The Town Council adopted Ordinance No. 507(Z86-53), rezoning from Planned Shopping Center-1 (PSC-1), Duplex (R-2) and Townhouse (I-1) to Garden Industry and Light Industrial with a PAD.

Overview

The applicant is proposing to develop two (2) identical 8,350 sf attached buildings intended for manufacturing and warehousing uses on a 1.08 acre site located within an existing industrial park called Sunrise Business Park. The subject site is presently vacant and is generally located north of the northeast corner of Pasadena Street and Sunway Drive and zoned Light Industrial with a Planned Area Development (PAD) overlay.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	Light Industrial (LI)	Light Industrial (LI) with PAD overlay	Industrial Use
South	Light Industrial (LI)	Light Industrial (LI) with PAD overlay	Industrial Use
East	Light Industrial (LI)	Light Industrial (LI) with PAD overlay	Industrial Use
West	Light Industrial (LI)	Light Industrial (LI) with PAD overlay	Industrial Use
Site	Light Industrial (LI)	Light Industrial (LI) with PAD overlay	Vacant

Project Data Table

Site Development Regulations	Required per LDC	Proposed
Building Area	-	16, 700 sf (total)
Maximum Building Height (ft.)/(Stories)		26'-0"
Minimum Building Setback (ft.)		
Front (Collector or Local)	20'	20'
Side (Employment)	5'	5'
Rear (Employment)	0'	0'

Minimum Required Perimeter Landscape Area (ft.)		
Front (Collector or Local)	20'	20'
Side (Street)	5'	5'
Rear (Residential)	5'	5'
Landscaping (% of net lot area)	-	17%
Off-Street Parking and Loading: Warehouse 1/500, sf Office 1/250 sf	38 Spaces	38 Spaces

DISCUSSION

Site

The subject site includes two (2) 8,350 sf shell buildings intended for warehousing and manufacturing uses. The two (2) buildings are connected at the midpoint of the site but are intended to operate as separate businesses with independent tenants. Since the buildings are intended to operate separately, the applicant has provided items such as parking and access for each site, meeting all our Land Development Code requirements as a whole building and in the scenario that the buildings operate separately. Of the 8,350 sf for each building, 7,100 sf is intended for manufacturing and warehousing with the remaining 1,250 sf planned for office space. The office space is located on the west side of the building fronting the street with the manufacturing and warehousing space located on the east side or rear two-thirds of the building.

There are two (2) points of access proposed, both located off Pasadena Street. The access aisles are shared with the adjacent properties to the north and south through a common access driveway easement reservation within the Sunrise Business Park Final Plat, which allows parcels with less than 200' of street frontage to share common driveways and access points with adjacent parcels. Twenty-eight (28) of the thirty-eight (38) parking spaces provided are located on the north and south sides of the building with the remaining spaces located on the east side behind in an enclosed storage yard area. There is an additional gate in the center of the storage yard that divides the back area down the middle to allow separate operations.

Landscape

A total of 17% of the net lot area is landscaping, which exceeds the landscaping requirement for the district. The proposed tree palette contains Chinese Elm and Live Oak. For accent plants and ground cover, a variety of plant materials have been proposed including Baja Ruellia, Orange Jubilee, Red Yucca, Mexican Bird of Paradise, Torch Glow Bougainvillea, and Lantana.

Grading and Drainage

The proposed grading and drainage plan generally meets the requirements of the Town of Gilbert's Engineering Division.

Elevations, Colors and Materials

The proposed building is one-story and 28'-2" at its highest point. The tiered building design uses 1'-2' step-downs that create a varied roofline for the west elevation, which fronts the street and is visible to the public. Windows are present on the lower third of the building where the proposed

office areas are located. On the north and south elevations, small vertical insets are shown every approximately 20' that contain the external downspouts. Per the Standard Commercial and Industrial Site Plan Notes, industrial buildings may use exposed downspouts if articulated with the architecture of the building and built with a durable material such as steel.

The primary building material is a combination of smooth face, single score, and split face masonry. The single score masonry in Natural Grey is the primary material and color used. The split score masonry in Mission White and the smooth face masonry in San Mateo Rose, a dusty red color, are utilized as accent colors. Metal panel shade structures are located on both the north and south sides of the west elevation, above the two (2) building entrances. The metal is painted in Terra Rose, a similar color to the smooth face masonry in San Mateo Rose.

Lighting

There are only two (2) lighting types proposed; they include two (2) types of building mounted lights. No other lighting type is proposed for the site. All site lighting will be required to comply with Town codes.

Signage

Signage is not included in this approval. Administrative Design Review approval is required prior to permitting.

PUBLIC NOTIFICATION AND INPUT

An official notice was posted in all the required public places within the Town and neighborhood notice was provided per the requirements of the Land Development Code (LDC) Article 5.205.

Staff has received no comment from the public.

STAFF RECOMMENDATION

Approve the Findings of Fact and approve DR19-104, Office/Warehouse Buildings Lots 43 and 44: site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 1.08 acres, generally located north of the northeast corner of Pasadena Street and Sunway Drive and zoned Light Industrial (LI) with a Planned Area Development (PAD) overlay, subject to conditions:

1. Construction of the project shall conform to the exhibits approved by the Planning Commission at the October 2, 2019 public hearing.
2. The construction site plan documents shall incorporate the Standard Commercial and Industrial Site Plan Notes adopted by the Design Review Board on March 11, 2004.
3. Signage is not included in this approval. Administrative Design Review approval is required prior to submitting for sign permits.
4. Wall-mounted lighting fixtures shall be a maximum height of 14 feet above grade, measured to the bottom of the light source.

Respectfully submitted,

Sydney Bethel
Planner II

Attachments and Enclosures:

- 1) Finding of Fact
- 2) Notice of Public Hearing/Vicinity Map
- 3) Aerial Photo
- 4) Site Plan
- 5) Landscape
- 6) Grading and Drainage
- 7) Colors and Materials
- 8) Elevations
- 9) Floor Plans
- 10) Lighting

**FINDINGS OF FACT
DR19-104, Office/Warehouse Buildings Lots 43 and 44**

1. The project as conditioned is consistent with the applicable Design Guidelines;
2. The project conforms to the General Plan, and specifically to the Land Use, Community Design, and Environmental Planning Elements;
3. The project is consistent with all applicable provisions of the Zoning Code;
4. The project is compatible with adjacent and nearby development; and
5. The project design provides for safe and efficient provisions of public services.

Notice of Public Hearing

PLANNING COMMISSION DATE:

Wednesday, October 2, 2019* TIME: 6:00 PM

**LOCATION: Gilbert Municipal Center
Council Chambers
50 E. Civic Center Drive
Gilbert, Arizona 85296**

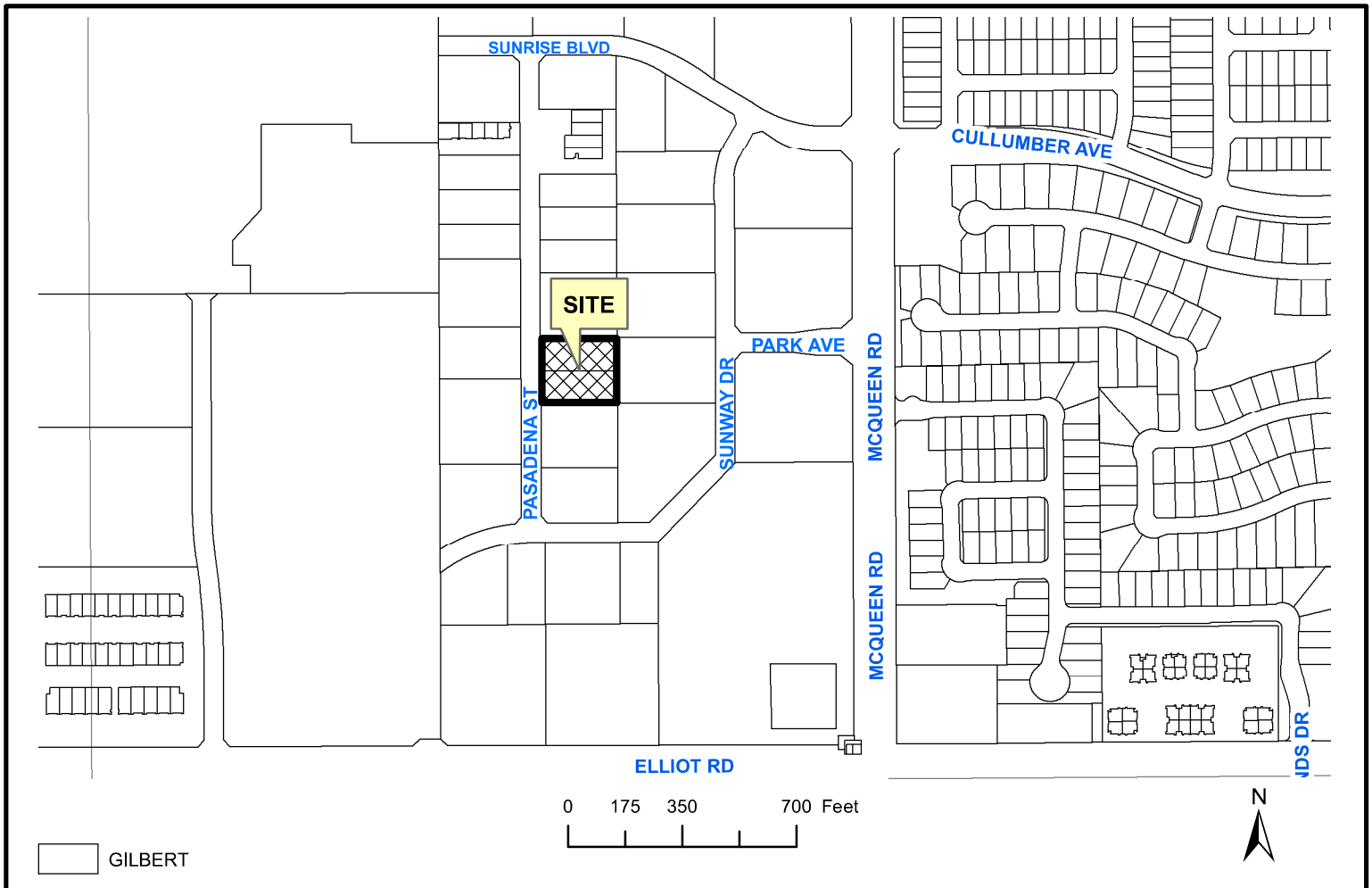
*** Call Planning Department to verify date and time:
(480) 503-6721**

* The application is available for public review at the Town of Gilbert Development Services division Monday - Thursday 7 a.m. - 6 p.m. Staff reports are available the Monday prior to the meeting at <https://www.gilbertaz.gov/departments/development-services/planning/planning-commission>

REQUESTED ACTION:

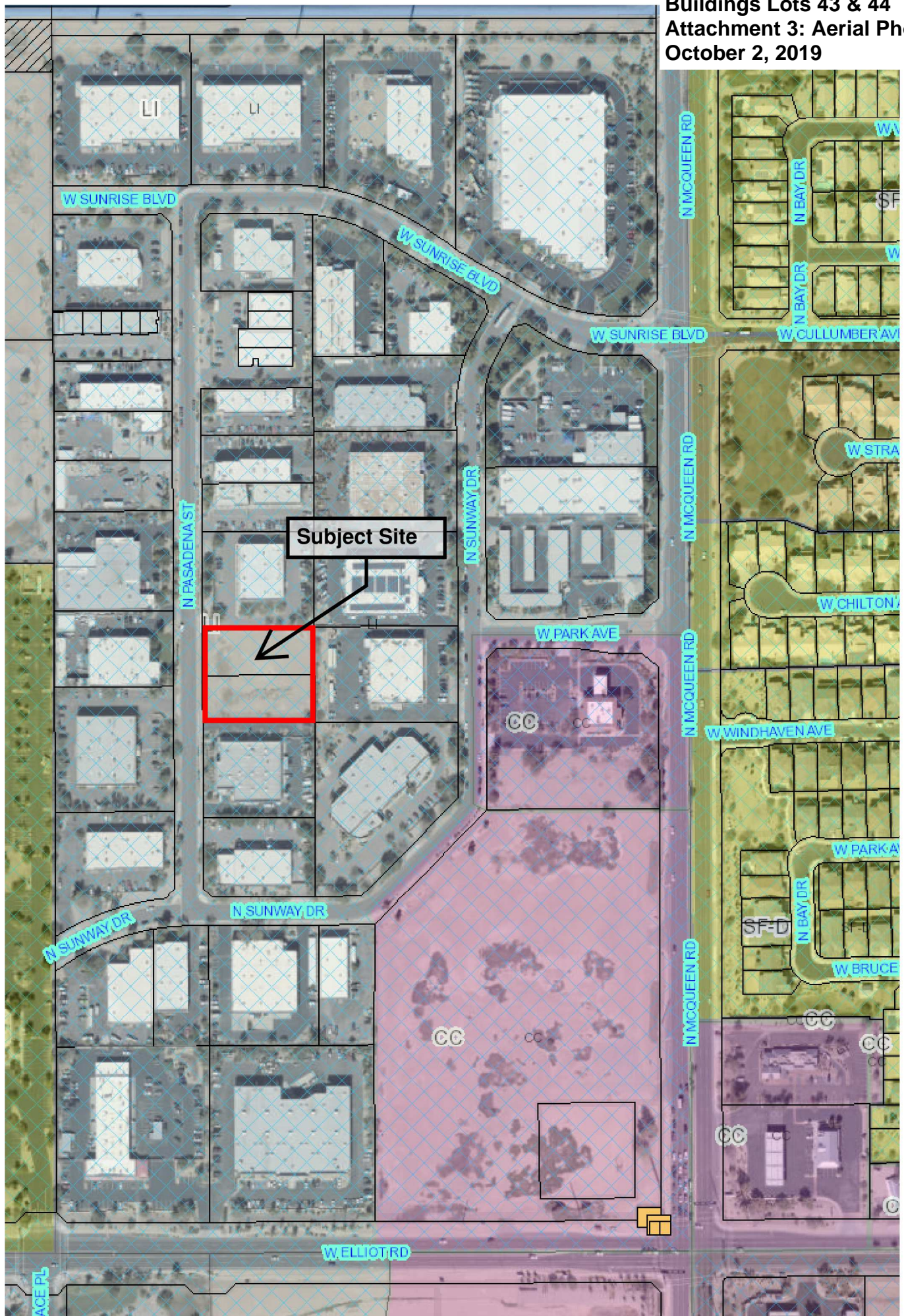
DR19-104 Office/Warehouse Buildings Lots 43 & 44: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 1.08 acres, generally located north of the northeast corner of Pasadena Street and Sunway Drive and zoned Light Industrial (LI) with a Planned Area Development (PAD) overlay.

SITE LOCATION:



**APPLICANT: Almond ADG Architects
CONTACT: Paul Almond
ADDRESS: 7330 E. Earll Dr
Scottsdale, AZ 85251**

**TELEPHONE: (480) 990-2120
E-MAIL: paul@almondadg.com**





7330 EAST EARLL DRIVE #A
SCOTTSDALE, ARIZONA 85251
PHONE: 480-990-2120
FAX: 480-990-2130

ARCHITECTURE
INTERIORS

OWNERSHIP OF DOCUMENTS
THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF ADG. NO PART OF THESE DRAWINGS OR SPECIFICATIONS ARE TO BE REPRODUCED, COPIED, OR USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF ADG. ANY REUSE OR MODIFICATION OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF ADG SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO ADG. ALL RIGHTS RESERVED.

FIRE DEPARTMENT STANDARD NOTES

- GENERAL FIRE PLAN SUBMITTALS:
- CONSTRUCTION WITHIN THE TOWN OF GILBERT SHALL COMPLY WITH THE 2012 INTERNATIONAL FIRE CODE (IFC) AS AMENDED AND ADOPTED BY FIRE CODE SUB-SECTIONS 10-37-1, 10-37-2, AND 2012 FIRE CODE INTERPRETATIONS AND REGULATIONS.
 - THE APPLICANT IS RESPONSIBLE TO IDENTIFY AND COORDINATE DEFERRED SUBMITTALS.
 - PLANS AND SPECIFICATIONS FOR FIRE ALARM SYSTEMS, AUTOMATIC FIRE EXTINGUISHING SYSTEMS, AND STANDPIPES SHALL BE SUBMITTED TO THE PERMITTING & PLAN REVIEW DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
 - A KNOX BOX IS REQUIRED AT EVERY FIRE SPRINKLER RISER ROOM. WHEN RAPID ACCESS WOULD BE COMPROMISED BY LONG TRAVEL DISTANCES, KNOX BOXES SHALL BE REQUIRED AT OTHER LOCATIONS AT THE DISCRETION OF THE FIRE OFFICIAL. REFER TO 2012 FIRE CODE INTERPRETATIONS & REGULATIONS 12-506.1 KEY BOXES.

- GENERAL FIRE DEPARTMENT ACCESS:
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED WITHIN GILBERT'S JURISDICTION.
 - THE FIRE APPARATUS ACCESS ROAD SHALL COMPLY WITH THE REQUIREMENTS OF THIS SECTION AND SHALL EXTEND TO WITHIN 150' OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY. THE ROUTE IS TO BE MEASURED AROUND THE BUILDING AS THE FIRE HOSE WOULD BE LAID AND SHALL BE APPROVED BY THE FIRE PLANS EXAMINER.
 - APPARATUS ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF 20'.
 - A MINIMUM VERTICAL CLEARANCE OF 13'-6" SHALL BE PROVIDED FOR THE APPARATUS ACCESS ROAD.
 - DEAD END FIRE APPARATUS ACCESS ROADS IN EXCESS OF 150' IN LENGTH SHALL BE PROVIDED WITH AN APPROVED MEANS FOR TURNING AROUND. FIRE APPARATUS TURNING RADIUS IS 35' INSIDE AND 55' OUTSIDE.
 - FIRE LANES SHALL BE MARKED BY SIGNS PER TOG DETAIL #63 AND/OR CURB PAINTED RED AND LABELED "FIRE LANE NO PARKING". REFER TO 2012 FIRE CODE INTERPRETATIONS AND REGULATIONS 12-D103.6 FIRE LANES.
 - APPARATUS ACCESS ROADS SHALL HAVE A MINIMUM GRADE OF:
 - *0-6% GRADE ABC 6" 95% COMPACTION
 - *6-10% GRADE CONCRETE ASPHALT, 4" OR MORE
 - *GRADES STEEPER THAN 10% SHALL BE APPROVED BY THE FIRE OFFICIAL.
- FIRE HYDRANT REQUIREMENTS:
- THE MINIMUM NUMBER OF FIRE HYDRANTS SHALL BE NOT LESS THAN REQUIRED PER APPENDIX C IN THE IFC.
 - A FIRE HYDRANT SHALL BE LOCATED WITHIN 150' OF THE FIRE DEPARTMENT CONNECTION (FDC). THE ROUTE IS TO BE MEASURED AS THE FIRE HOSE WOULD BE LAID OUT AND SHALL BE APPROVED BY THE FIRE PLANS EXAMINER.
 - A 3' CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS.

- GENERAL FIRE SPRINKLER REQUIREMENTS:
- PLANS AND SPECIFICATIONS FOR FIRE SPRINKLER SYSTEMS EXCEEDING 19 HEADS SUBMITTED FOR REVIEW SHALL BE SEALED BY A QUALIFIED ARIZONA REGISTRANT IN FIRE SPRINKLER DESIGN. THE INSTALLING CONTRACTOR'S NAME, ADDRESS, AND PHONE NUMBER ARE TO BE INCLUDED ON THE DRAWINGS AND CALCULATIONS SUBMITTED FOR REVIEW AND APPROVAL. AS-BUILT DRAWINGS WILL BE REQUIRED WHERE FIELD CHANGES ARE MADE TO THE DESIGNED DRAWINGS. WHEN PIPING AND/OR SPRINKLER HEADS ARE ADDED TO INITIAL SPRINKLER SYSTEM INSTALLATIONS, UP-DATED CALCULATIONS WILL BE REQUIRED.
 - FIRE SPRINKLERS SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT NFPA REFERENCED STANDARDS AND THE TOWN OF GILBERT SPRINKLER ORDINANCE.
 - THE FIRE SPRINKLER RISER ROOM SHALL COMPLY WITH TOWN OF GILBERT FIRE CODE AMENDED SECTION 901.4.6.
 - FIRE DEPARTMENT INLET CONNECTIONS (FDC) SHALL BE LOCATED ON THE ADDRESS SIDE OR NATURAL APPROACH OF THE BUILDING IT SERVES AND SHALL IDENTIFY THE BUILDING SERVED WITH A PERMANENT SIGN.
 - FIRE HOSE THREADS AND FITTINGS USED IN CONNECTION WITH AUTOMATIC SPRINKLER SYSTEMS SHALL BE NATIONAL STANDARD THREAD.
 - CONTROL VALVES AND WATER FLOW SWITCHES FOR AUTOMATIC SPRINKLER SYSTEMS SHALL BE ELECTRONICALLY MONITORED WHERE THE NUMBER OF SPRINKLER HEADS EXCEEDS 19, IFC SECTION 903.4.
 - AN EXTERIOR FIRE SPRINKLER SYSTEM ALARM BELL SHALL BE MOUNTED ABOVE THE FIRE RISER ROOM DOOR.

- GENERAL FIRE ALARM REQUIREMENTS:
- PLANS AND SPECIFICATIONS FOR THE FIRE ALARM SYSTEMS SUBMITTED FOR REVIEW SHALL BE SEALED BY A QUALIFIED ARIZONA REGISTRANT IN FIRE ALARM SYSTEM DESIGN. THE INSTALLING CONTRACTOR'S NAME, ADDRESS AND PHONE NUMBER ARE TO BE INCLUDED ON THE DRAWINGS AND CALCULATIONS SUBMITTED FOR REVIEW AND APPROVAL. AS-BUILT DRAWINGS WILL BE REQUIRED WHERE FIELD CHANGES ARE MADE TO THE DESIGNED DRAWINGS. WHEN ADDITIONAL WIRING AND DEVICES ARE ADDED TO FIRE ALARM SYSTEMS, UP-DATED VOLTAGE DROP AND BATTERY CALCULATIONS WILL BE REQUIRED.
 - FIRE ALARM REQUIREMENTS FOR NON-SEPARATED MIXED OCCUPANCIES: OCCUPANCIES THAT DEPEND ON OCCUPANT LOAD CRITERIA TO DETERMINE WHEN A FIRE ALARMFD SYSTEM IS REQUIRED SHALL USE THE TOTAL BUILDING OCCUPANT LOAD USING THE MOST RESTRICTIVE OCCUPANCY CLASSIFICATION AND EXTEND THE FIRE ALARM SYSTEM TO ALL OCCUPIED AREAS OF THAT BUILDING IN ACCORDANCE WITH APPLICABLE CODE AND STANDARD. THE FIRE ALARM REQUIREMENTS SHALL BE BASED ON THE MOST RESTRICTIVE FIRE PROTECTION SYSTEM REQUIREMENT OF IFC CHAPTER 9.
 - ALARM INITIATING DEVICES, ALARM SIGNALING DEVICES AND OTHER FIRE ALARM SYSTEM COMPONENTS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH 2012 IFC AND CURRENT NFPA REFERENCED STANDARDS.
 - DUCT SMOKE DETECTORS THAT ARE CONCEALED FROM VIEW, INSTALLED MORE THAN 10' ABOVE FINISHED FLOOR OR IN ARRANGEMENTS WHERE THE DETECTORS ALARM INDICATOR IS NOT READILY VISIBLE TO RESPONDING PERSONNEL, IT SHALL HAVE A VISIBLE AND AUDIBLE SUPERVISORY SIGNALING DEVICE AT THE CEILING LEVEL OR SIGHT OBSTRUCTION AT EACH DETECTOR. DUCT SMOKE DETECTORS SHALL BE CONNECTED TO THE BUILDING'S FIRE ALARM CONTROL UNIT WHEN A FIRE ALARM SYSTEM IS REQUIRED.

- FIRE SAFETY DURING CONSTRUCTION:
- AN ALL-WEATHER ACCESS ROAD DESIGNED TO SUPPORT THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING UP TO 85,000 POUNDS SHALL BE INSTALLED AND MAINTAINED AT ALL TIMES. SITES SHALL HAVE TWO POINTS OF ACCESS OR AS INDICATED AT PLAN REVIEW OR BY THE FIRE INSPECTOR. UNPAVED SURFACES SHALL HAVE A MINIMUM ABC 6" DEPTH COMPACTION TO 95% AND 20' WIDE. NO VEHICLE PARKING OR BUILDING MATERIAL OFF-LOADING ALLOWED ON THE EMERGENCY ACCESS ROAD. FIRE LANE SIGNS ARE REQUIRED TO BE POSTED ALONG THE ROAD.
 - SIGNS SHALL BE POSTED AT EACH REQUIRED STREET ENTRANCE INDICATING EMERGENCY VEHICLE ENTRANCE, THE PROJECT NAME, THE PROJECT ADDRESS AND AN EMERGENCY CONTACT NUMBER OF A COMPANY REPRESENTATIVE.
 - THE SIGN SHALL BE A MINIMUM OF 24" HIGH X 36" WIDE WITH WHITE REFLECTIVE BACKGROUND AND 3" RED REFLECTIVE LETTERS.
 - ALL FIRE HYDRANTS SHALL BE INSTALLED AND ACCEPTED BY THE TOWN ENGINEERING DEPARTMENT PRIOR TO COMBUSTIBLE MATERIALS BEING DELIVERED TO THE CONSTRUCTION SITE.
 - TEMPORARY DEAD END FIRE APPARATUS ACCESS ROADS IN EXCESS OF 150' IN LENGTH SHALL BE PROVIDED WITH AN APPROVED MEANS FOR TURNING THE APPARATUS AROUND.
 - FIRE HYDRANTS PROVIDED DURING CONSTRUCTION SHALL BE LOCATED ALONG THE FIRE APPARATUS ACCESS ROADWAY.
 - FIRE HYDRANTS PROVIDED DURING CONSTRUCTION SHALL BE PROTECTED FROM VEHICULAR DAMAGE.

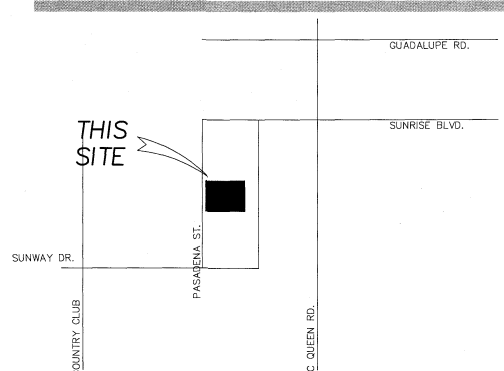
PROJECT DATA

OWNER:	ERIC CASSINAT 503 E. BOSTON CIRCLE CHANDLER, ARIZONA 85225
ADDRESS:	135 N. PASADENA STREET 145 N. PASADENA STREET GILBERT, ARIZONA 85233
APN NO.:	135 N. PASADENA ST: 302-23-050 145 N. PASADENA ST: 302-23-049
LEGAL DESCRIPTION:	135 N. PASADENA ST: LOT 42 SUNRISE BUSINESS PARK 145 N. PASADENA ST: LOT 43 SUNRISE BUSINESS PARK
ZONING:	L-1
USE:	MANUFACTURING, STORAGE, OFFICE
LOT AREA:	135 N. PASADENA ST: 23,500 S.F. (0.54 ACRES) 145 N. PASADENA ST: 23,500 S.F. (0.54 ACRES)
BLDG. AREA:	135 N. PASADENA ST: 7,100 S.F. MANUFACTURING/STORAGE: 1,250 S.F. OFFICE: 8,350 S.F. TOTAL: 8,350 S.F.
145 N. PASADENA ST:	MANUFACTURING/STORAGE: 7,100 S.F. OFFICE: 1,250 S.F. TOTAL: 8,350 S.F.
LOT COVERAGE:	135 N. PASADENA ST: 35.5% 145 N. PASADENA ST: 35.5%
ALLOWABLE HEIGHT:	55' (3) STORIES
BUILDING HEIGHT:	26'-0" TOP OF PARAPET
PARKING REQUIRED:	WAREHOUSE: 1 SPACE PER 500 SQ. FT. 7,100 / 500 = 14 OFFICE: 1 SPACE PER 250 SQ. FT. 1,250 / 250 = 5 TOTAL = 19 PER PROPERTY
PARKING PROVIDED:	LOT 42: 19 (INCLUDING 1 HANDICAP SPACE) LOT 43: 19 (INCLUDING 1 HANDICAP SPACE)
FIRE PROTECTION:	SPRINKLERS (AFES): YES FIRE ALARMS: NO EMERGENCY LIGHTS: YES
CONSTRUCTION TYPE:	VB (A.F.E.S.)
OCCUPANCY:	F-1, S-1, B

KEYED NOTES

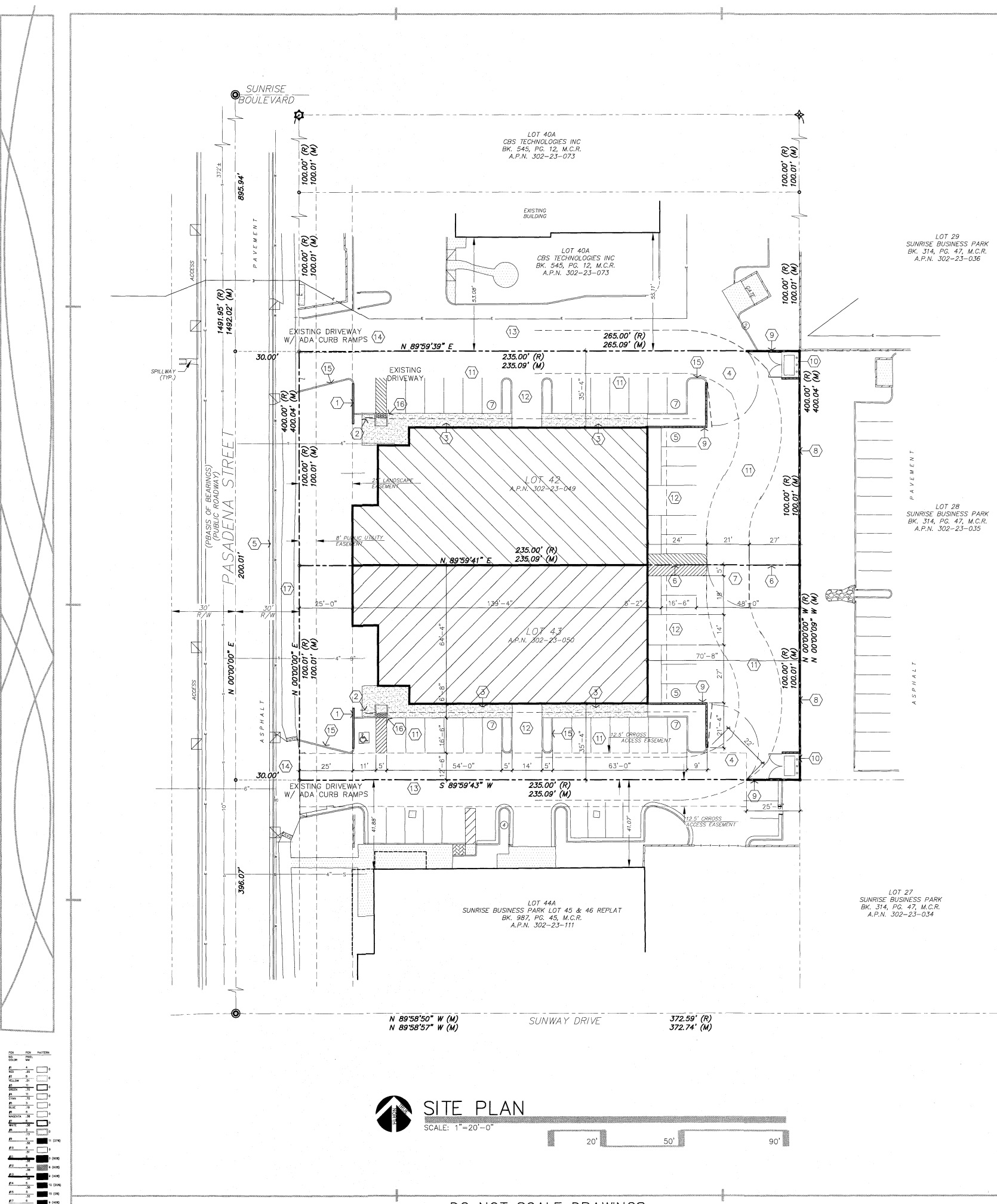
- 36" HIGH MASONRY SCREEN WALL. SEE DETAIL 16/1.2
- BIKE RACK. SEE DETAIL 17/1.2
- 6" HIGH CONCRETE SIDEWALK. SEE DETAIL 19/1.2
- 6" HIGH SOLID METAL SWINGING GATE. SEE ELEVATION 11/1.2
- GATE SHALL COMPLY W/ FIRE REGULATION 12-503.6
- EXISTING CURB AND GUTTER.
- 6" HIGH CHAIN LINK FENCING.
- 20' WIDE X 6" HIGH CHAIN LINK SWING GATE FOR FIRE DEPARTMENT ACCESS. GATE SHALL COMPLY W/ FIRE REGULATION 12-503.6
- 6" HIGH CMU SCREEN WALL AT REAR PROPERTY LINE. SEE DETAIL 16/1.2
- 6" HIGH CMU SCREEN WALL. SEE DETAIL 16/1.2
- TRASH ENCLOSURE. SEE ENLARGED PLAN 5/1.2
- NEW ASPHALT PAVING.
- LOADING AREA.
- EXISTING ASPHALT PAVING.
- EXISTING SHARED DRIVEWAY.
- 6" CAST-IN-PLACE CONCRETE CURB. SEE DETAIL 18/1.2
- ADA CURB RAMP. SEE ENLARGED PLAN 6/1.2
- EXISTING SIDEWALK.

LOCATION MAP



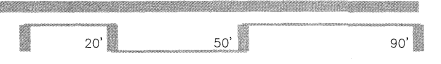
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revisions:

sheet 1.1



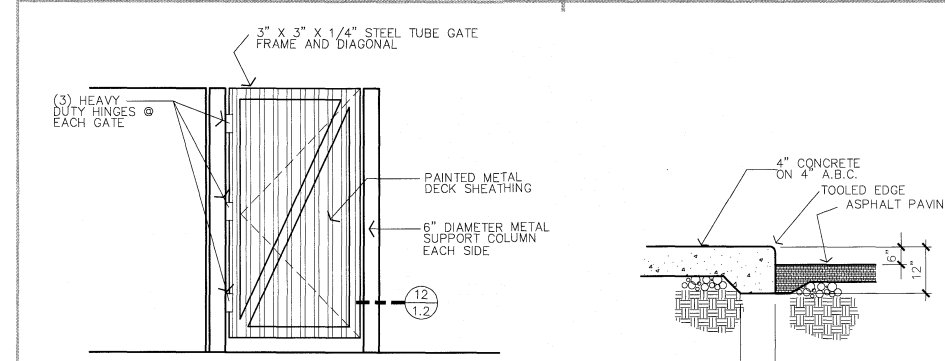
SITE PLAN

SCALE: 1"=20'-0"

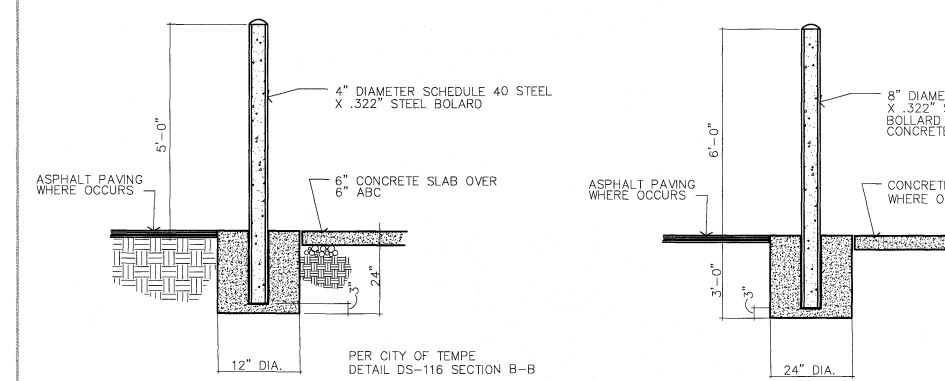


DO NOT SCALE DRAWINGS

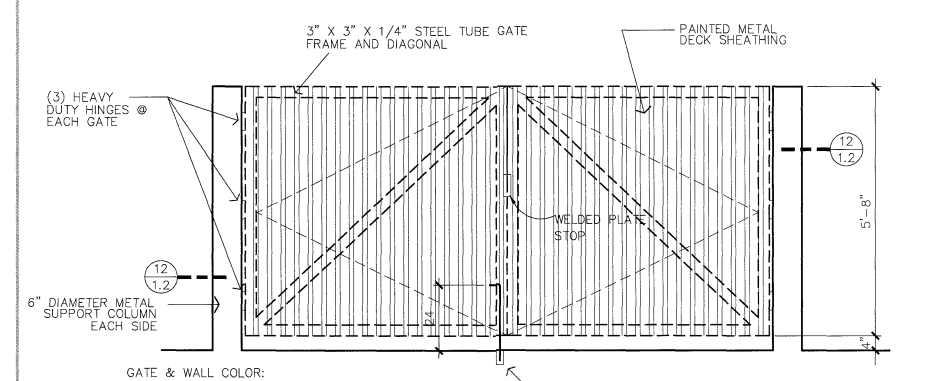
SITE PLAN



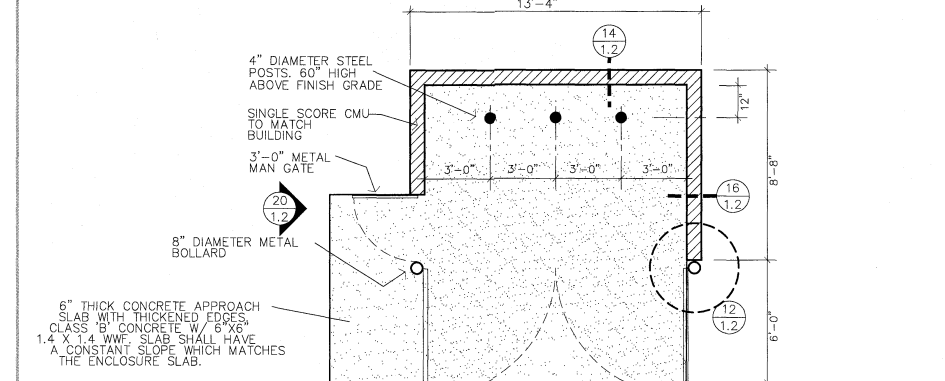
20 TRASH GATE ELEVATION
SCALE: 1/8" = 1'-0"



19 SIDEWALK EDGE
SCALE: 1/8" = 1'-0"



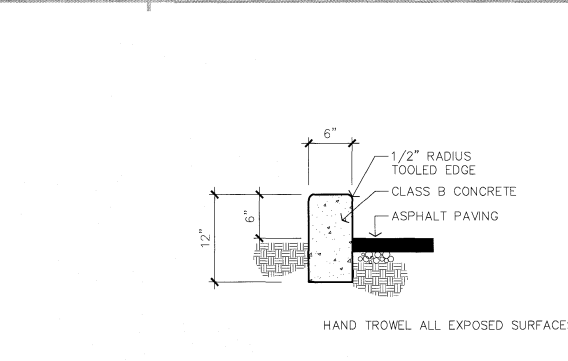
18 CAST-IN-PLACE CONCRETE CURB
SCALE: 1/8" = 1'-0"



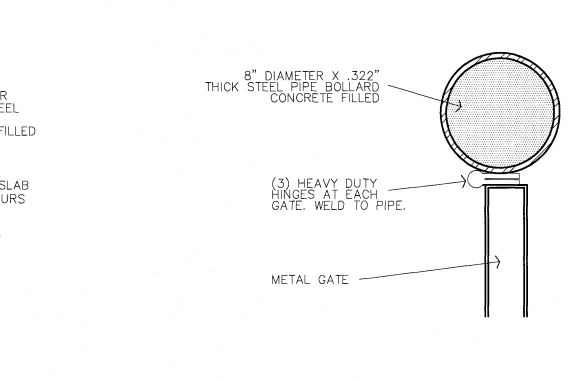
17 BIKE RACK
SCALE: 1/8" = 1'-0"



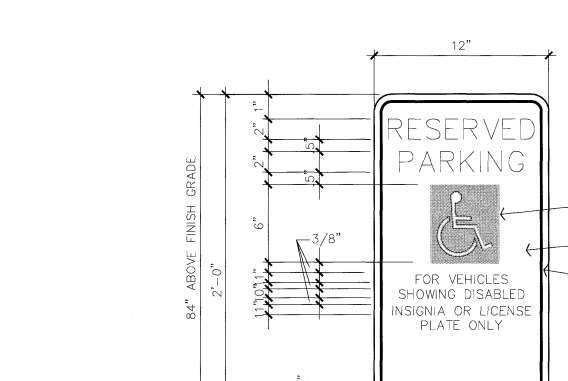
16 MASONRY SCREEN WALL
SCALE: 1/8" = 1'-0"



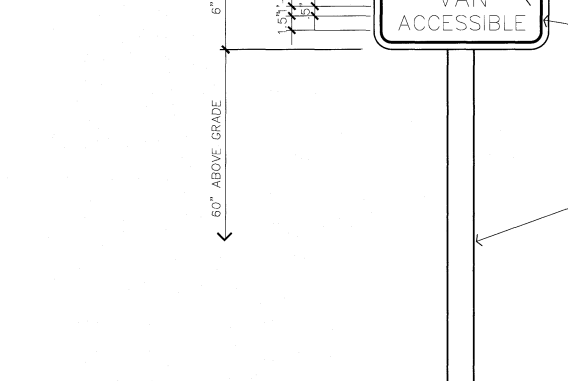
14 PIPE BOLLARD @ TRASH ENCLOSURE
SCALE: 1/8" = 1'-0"



13 PIPE BOLLARD @ TRASH ENCLOSURE
SCALE: 1/8" = 1'-0"



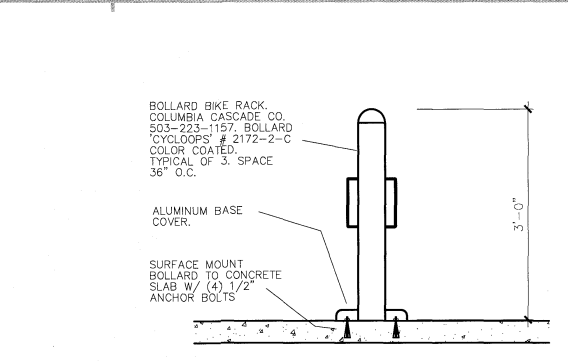
12 METAL GATE JAMB
SCALE: 1/8" = 1'-0"



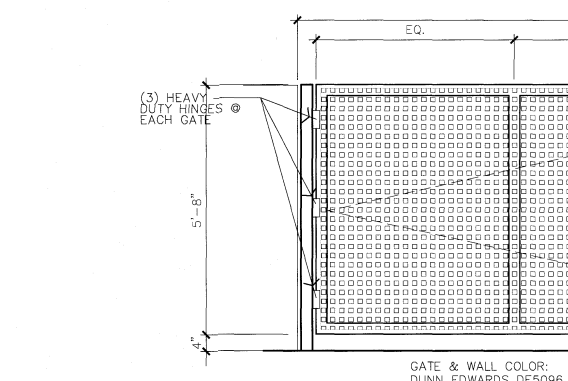
11 GATE ELEVATION
SCALE: 1/8" = 1'-0"



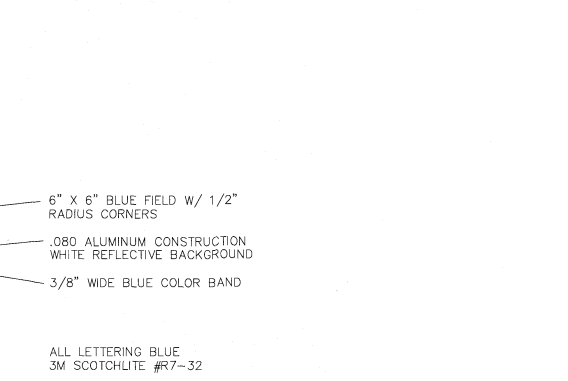
10 TRASH GATE ELEVATION
SCALE: 1/8" = 1'-0"



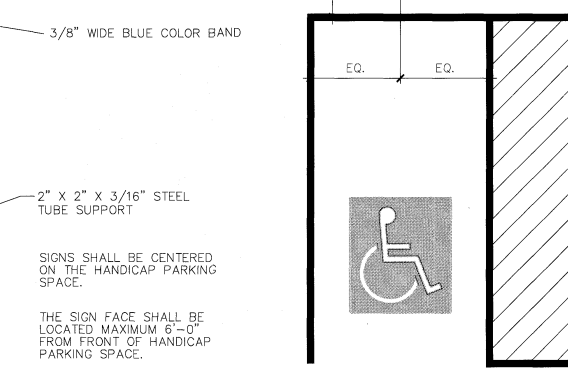
6 CURB RAMP
SCALE: 1/8" = 1'-0"



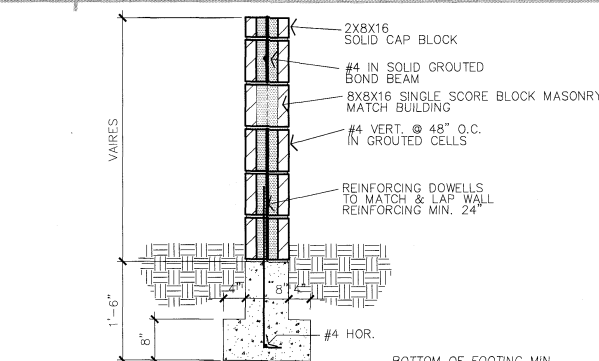
5 TRASH ENCLOSURE
SCALE: 1/8" = 1'-0"



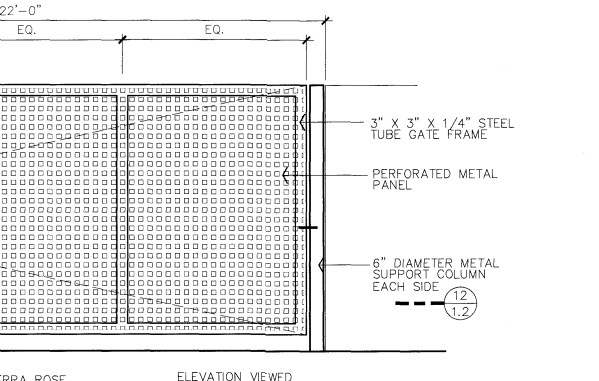
2 ACCESSIBLE PARKING SIGN
SCALE: 1/8" = 1'-0"



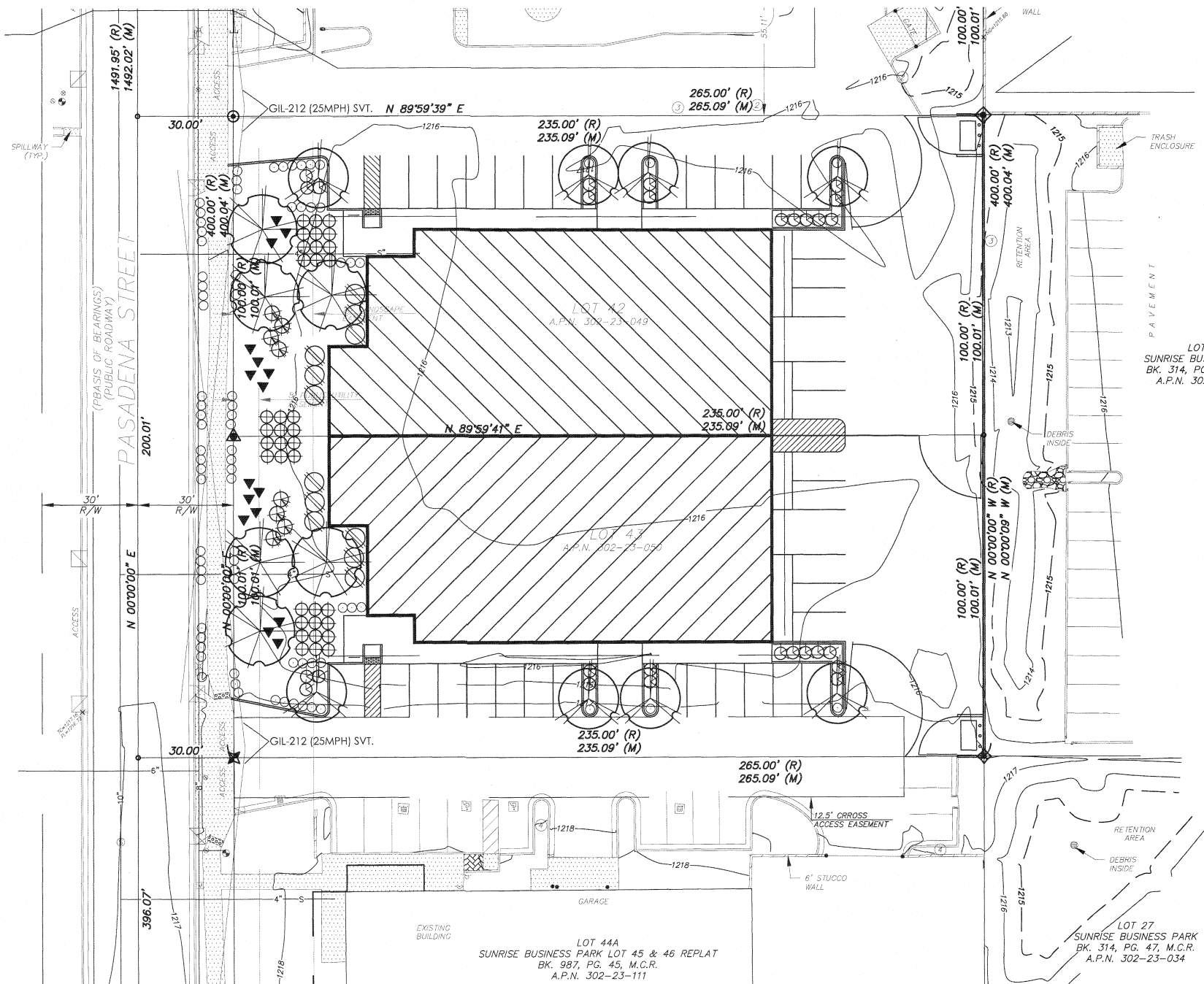
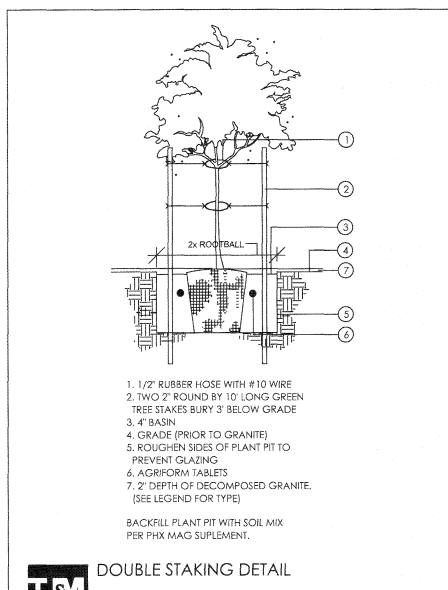
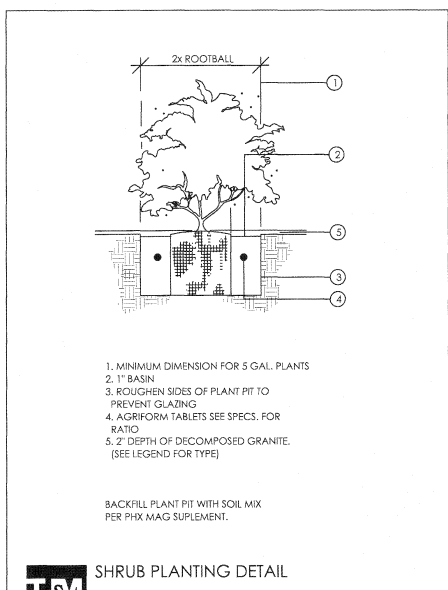
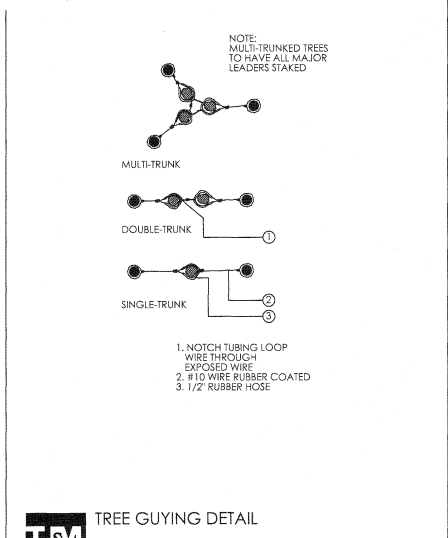
1 ACCESSIBLE PAVING LOGO
SCALE: 1/8" = 1'-0"



DO NOT SCALE DRAWINGS

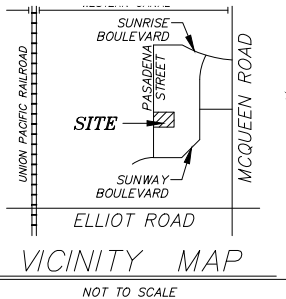


SITE DETAILS



135 AND 145 N PASADENA STREET
PRELIMINARY GRADING AND DRAINAGE PLAN

OF A PORTION OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 1 SOUTH, RANGE 5 EAST OF THE
GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



Weighted Runoff Coefficient Calculations			
Weighted-C	Area (SF)	C	CA
Bldg.	16,716	0.95	15,880
Landscape	5,895	0.70	4,127
Pavement/Roof	24,389	0.90	21,950
Both Lots	47,000	0.89	41,957 Total

RETENTION VOLUME CALCULATIONS (60-YR, 24-HR)					
	AREA (SF)	C-VALUE	D(I)	BASE RETENTION REQUIRED 1.25 (FT³)	RETENTION PROVIDED (FT³)
NEW DISTURBANCE	47,000	0.89	0.25	10489	10577
					OKAY

BASIN VOLUME CALCULATIONS				
BASIN 1				
ELEVATION	AREA (SF)	AVG. AREA (SF)	DEPTH (FT)	VOLUME (CF)
1216.5	2650	1937.5	1.00	1938
1215.5	1225			
BASIN 1 AS-BUILT VOLUME				

UNDERGROUND RETENTION VOLUME CALCULATIONS		
Basin UG1	D (ft)	VOL (CF)
	10	110
		8639

FINISHED FLOOR CERTIFICATION

FINISHED FLOORS ARE SAFE FROM INUNDATION DURING A 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLAN.

PROJECT DESCRIPTION

THE PROJECT WILL CONSTRUCT TWO NEW BUILDINGS, ONE ON EACH PARCEL, THE BUILDINGS WILL BE ADJOINED AND THE LOTS WILL SHARE STORMWATER RETENTION.

DRAINAGE INFORMATION:

DRAINAGE THROUGH THE SITE IS MOSTLY CHARACTERIZED AS SHALLOW SHEET FLOW. THE LOTS ARE WITHIN A DEVELOPED AREA WITH PAVED STREETS AND ADJACENT CURB AND GUTTER. ALL ON-SITE STORMWATER WILL BE RETAINED ON-SITE WITH STORM DRAIN LINES AND UNDERGROUND STORAGE, A DRYWELL WILL REMOVE THE STORMWATER.

BENCHMARK DATUM

THE BENCHMARK USED FOR THIS SURVEY IS THE NORTH QUARTER CORNER OF SECTION 10, BEING A 3" TOWN OF GILBERT BRASS CAP IN HANDHOLE, 0.35' DOWN, UNIQUE POINT ID 369, POINT NAME 22036-1, LOCATED ON GUADALUPE ROAD IN MEDIAN ISLAND 10' WEST OF RR TRACKS, HAVING AN ELEVATION OF 1214.694 FEET, (NAV88).

BASIS OF BEARING

THE BASIS OF BEARING IS THE MONUMENT LINE OF PASADENA STREET, USING A BEARING OF NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST PER THE PLAT OF SUNRISE BUSINESS PARK, BOOK 314, PAGE 47, M.C.R.

FIRM 04013C2605M:

ACCORDING TO FEMA FLOOD INSURANCE RATE MAP, MAP NUMBER 04013C2727M, DATED NOVEMBER 4, 2015, REVISED MARCH 10, 2017 TO REFLECT LOMR, THE SUBJECT PROPERTY IS LOCATED IN ZONE X(SHADED). ZONE X (SHADED) IS DEFINED AS "AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD."

EARTHWORK ESTIMATE

150 CY CUT, 2100 CY FILL, NET 1950 CY FILL WITH A 1.2 FILL FACTOR.

SHEET INDEX

PRELIMINARY GRADING PLAN.....C-1
PROFILES.....C-2

PARCEL DATA

APN: 302-23-049
ADDRESS: 145 N PASADENA STREET
GILBERT, ARIZONA 85233
AREA: 23,500 SQ. FT. / 0.5395
ZONING: LI

APN: 302-23-050
ADDRESS: 135 N PASADENA STREET
GILBERT, ARIZONA 85233
AREA: 23,500 SQ. FT. / 0.5395
ZONING: LI

LEGAL DESCRIPTION:

LOT 42 AND 43, OF SUNRISE BUSINESS PARK, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 314 OF MAPS, PAGE 47.

OWNER:

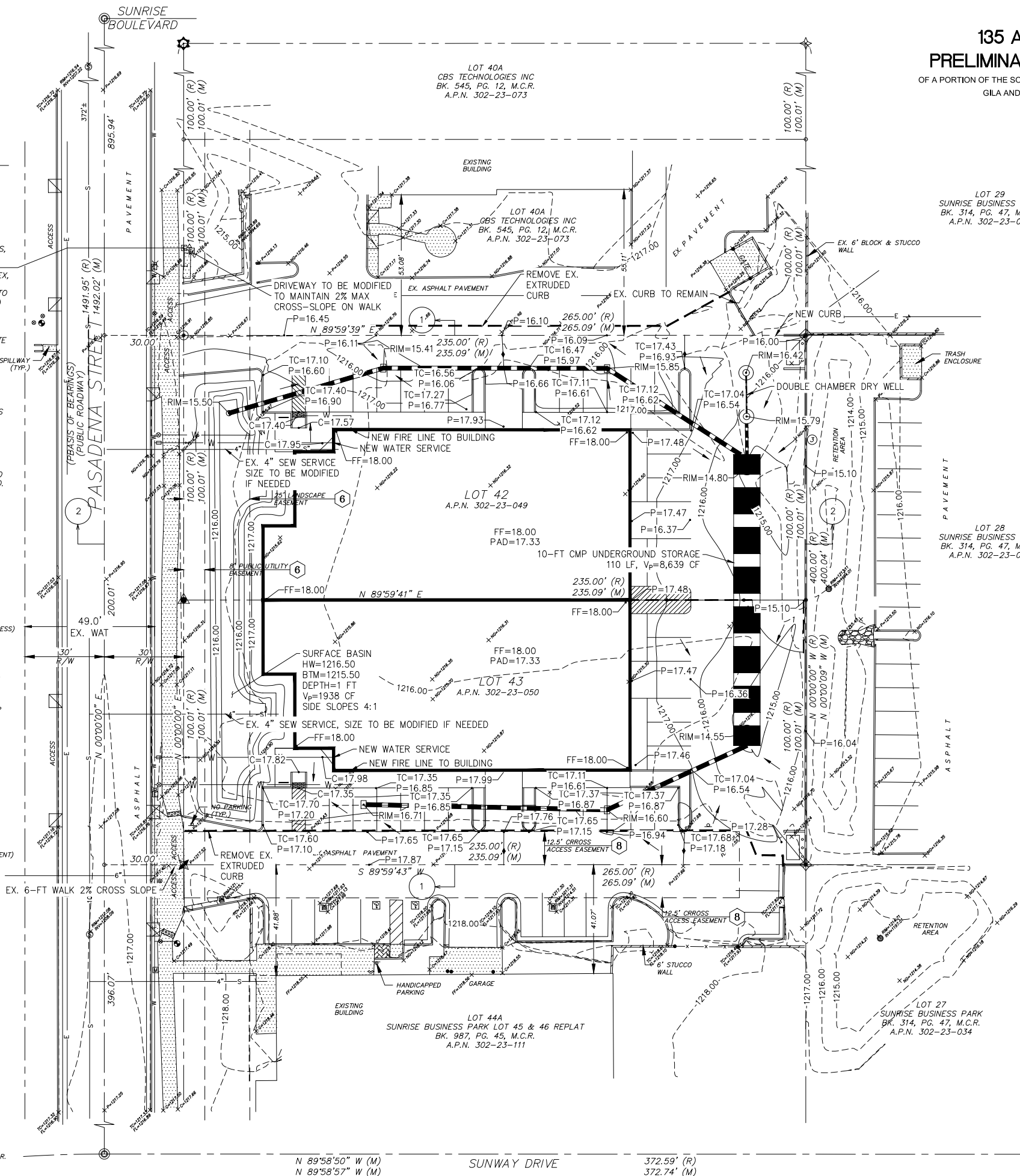
CASSINAT ERIC J/SUSAN D/ANTHONY/CINDY L
503 E BOSTON CIR
CHANDLER, ARIZONA 85225
LITCHFIELD PARK, ARIZONA 85340

SCHEDULE "B"
ITEMS

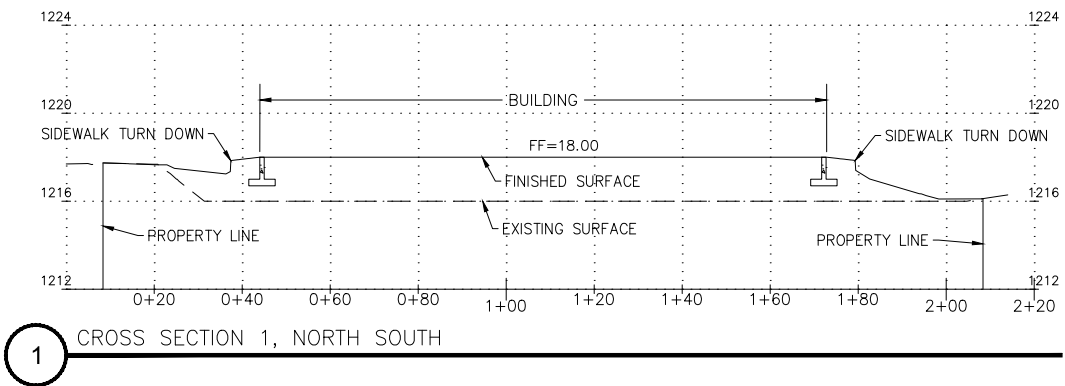
- 6 EASEMENTS, RESTRICTIONS AND SET-BACK LINES AS SHOWN ON THE RECORDED PLAT OF SAID SUBDIVISION. (PLOTTED HEREON)
- 7 ALL MATTERS CONTAINED IN INSTRUMENT(S) SETTING FORTH COVENANTS, CONDITIONS, RESTRICTIONS, LIABILITIES, OBLIGATIONS, AND EASEMENTS, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN UNLESS AND ONLY TO THE EXTENT THAT SAID COVENANT (A) IS EXEMPT UNDER CHAPTER 42, SECTION 3604(C) OF THE UNITED STATES CODE OR (B) RELATES TO HANDICAP BUT DOES NOT DISCRIMINATE AGAINST HANDICAPPED PERSONS; RECORDED AT: DOCUMENT NO. 95-674063, FIRST AMENDMENT RECORDED AT DOCUMENT NO. 96-445742, ASSIGNMENT OF DECLARANT'S RIGHTS RECORDED AT DOCUMENT NO. 98-588640. (NON EXCLUSIVE EASEMENT OVER & ACROSS SUBJECT PROPERTY & ADJOINING COMMON AREAS SHOWN HEREON FOR INGRESS & EGRESS, ACCESS AND MAINTENANCE - NOT PLOTTABLE)
- 8 ALL MATTERS SET FORTH IN DECLARATION OF EASEMENT RECORDED FEBRUARY 11, 2008 AT DOCUMENT NO. 08-117083. (PLOTTED HEREON)

LEGEND

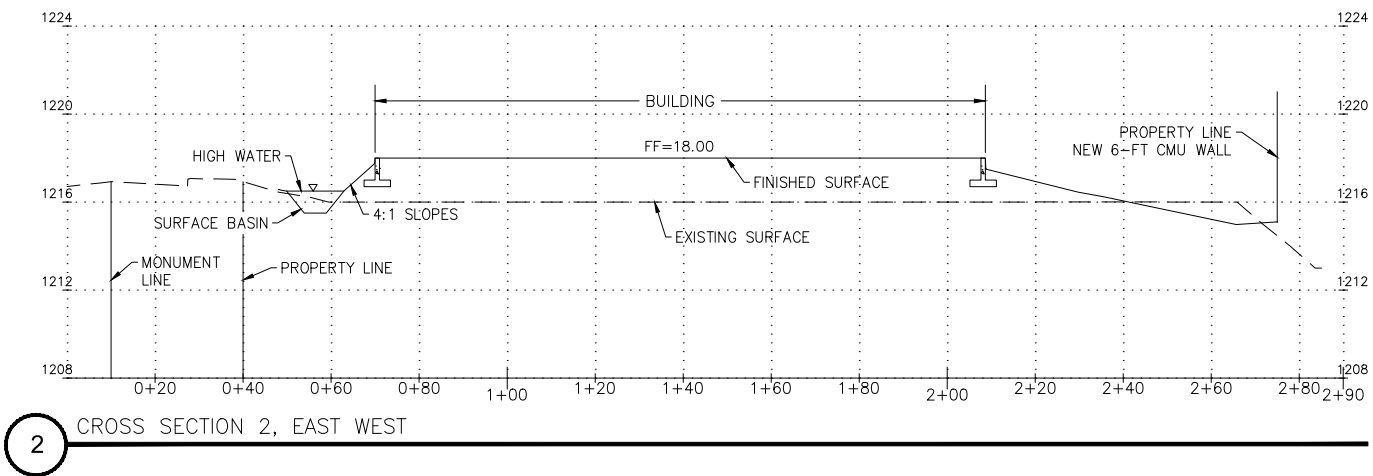
- EX. EXTRUDED CURB
BOUNDARY LINE
CENTER LINE OR MONUMENT LINE
CONCRETE SURFACE
24 INCH VERTICAL CURB & GUTTER
CURB OPENING
6 INCH CONCRETE CURB
INDICATES DRIVEWAY (MEANS OF ACCESS)
WALL
FENCE
GATE
UNDERGROUND ELECTRIC LINE
UNDERGROUND SANITARY SEWER LINE
UNDERGROUND WATER LINE
GRADE BREAK
SET 1/2" CAPPED W/ ALUMINUM CAP STAMPED "KLEIN 42137"
FOUND NAIL IN WASHER STAMPED 15865
SET NAIL IN WASHER STAMPED "KLEIN 42137"
FOUND 1/2" REBAR NO IDENTIFICATION
FOUND TAGGED REBAR STAMPED 15865
FOUND 1/2" CAPPED REBAR REBAR STAMPED 27263 (YELLOW CAP)
FOUND NAIL IN WASHER STAMPED "CORNERSTONE 32224"
FOUND 3" TOWN OF GILBERT BRASS CAP FLUSH
SCHEDULE B ITEM
SPRINKLER HOOK-UP (FIRE DEPARTMENT)
COMMUNICATION JUNCTION BOX
DRYWELL OR CATCH BASIN
ELECTRIC BOX
FIRE HYDRANT
GUARD POST OR GATE POST
HANDICAPPED SPACE
METAL GRATE (CIRCULAR)
METAL GRATE (RECTANGULAR)
LIGHT POLE
MAIL BOX
SEWER MANHOLE
STREET SIGN
TELECOMMUNICATIONS RISER
CABLE TELEVISION RISER
WATER VALVE
FLOW LINE
FINISHED FLOOR
TC TOP OF CURB
NG NATURAL GROUND
P PAVEMENT
C CONCRETE
RIM TOP OF RIM
INV INVERT ELEVATION
A.P.N. ASSESSORS PARCEL NUMBER
M.C.R. MARICOPA COUNTY RECORDS
R/W RIGHT OF WAY
BK. BOOK
PG. PAGE
(TYP.) TYPICAL
(R) RECORD PER BK. 314, PAGE 47, M.C.R.
(M) MEASURED





P:\C-ALMOND ADG\S190401 Pasadena Street-Gilbert\Design 3D\SHEETS\PD PRELIM GD.dwg Sep 06, 2019 10:57am 02 Site Engineers



1 CROSS SECTION 1, NORTH SOUTH



2 CROSS SECTION 2, EAST WEST

1	PLANNING COMMENTS		8-26-19
REV NO.	COMMENT		DATE
		 <p>SITE ENGINEERS</p> <p>PO BOX 31964 MESA, ARIZONA 85275-1964 TEL: 480-489-4450 EMAIL: Spencer@theSiteEngineers.com</p>	
ALMOND ADG			
135 AND 145 N PASADENA STREET GILBERT, ARIZONA 85233 GRADING AND DRAINAGE SITE PLAN			
SE NO. S190401	DESIGNED SJE	DRAWN SJE	CHECKED KLE
SHEET NO. 02 of 02		C-2	

MATERIAL BOARD

BASE BUILDING:
8X8X16 SINGLE SCORE MASONRY
SUPERLITE NATURAL GRAY

CORNER POP-OUTS:
8X8X16 SPLIT SCORE MASONRY
SUPERLITE MISSION WHITE

HORIZONTAL BANDS:
8X8X16 SONORA MASONRY
SUPERLITE OPAL

VERTICAL ACCENTS:
8X8X8 SMOOTH FACE MASONRY
SUPERLITE SAN MATEO ROSE

METALS:
McNICHOLS CO. .200 SQUARE
PERFORATED METAL PANELS
PAINT: DUNN EDWARDS DE5096
TERRA ROSE



project:

135/145 S. PASADENA STREET DR19-104 Office/Warehouse
GILBERT, ARIZONA Buildings Lots 43 & 44

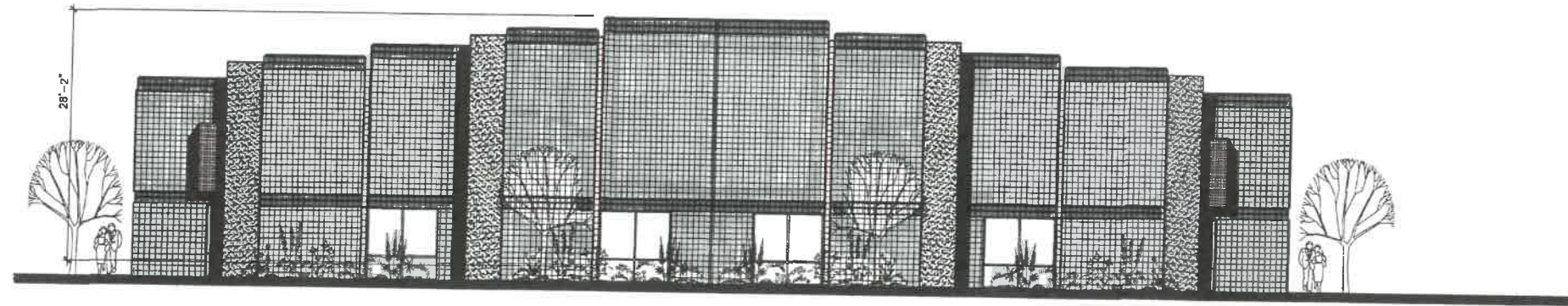
Attachment 7: Colors and Materials
October 2, 2019



7330 EAST EARLL DRIVE
SCOTTSDALE, ARIZONA 85251
PHONE: 480-990-2120
FAX: 480-990-2130

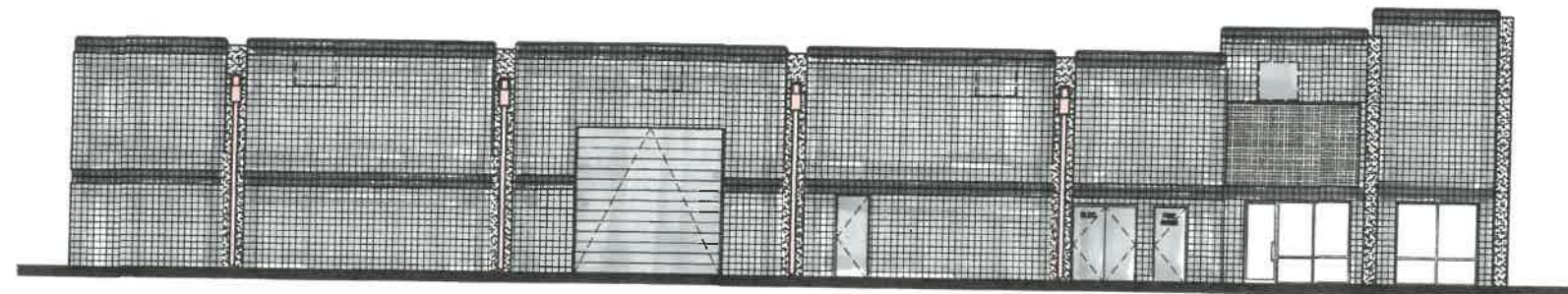
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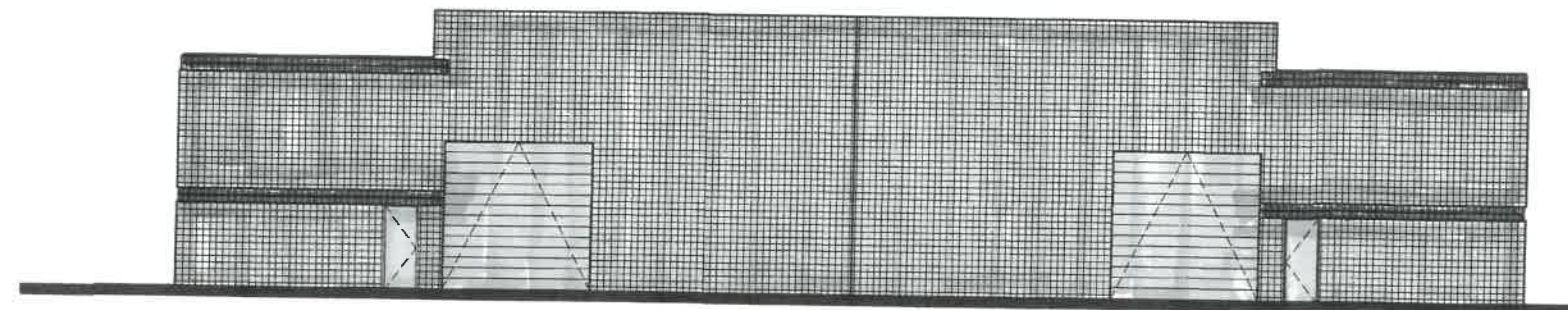
WEST ELEVATION

SCALE: 1/8"=1'-0"



NORTH ELEVATION

SCALE: 1/8"=1'-0"



EAST ELEVATION

SCALE: 1/8"=1'-0"

DO NOT SCALE DRAWINGS

COLOR ELEVATIONS

NEW OFFICE/WAREHOUSE
135/145 S. PASADENA
GILBERT, ARIZONA

job no: 19110
date: 4-4-19
revisions:

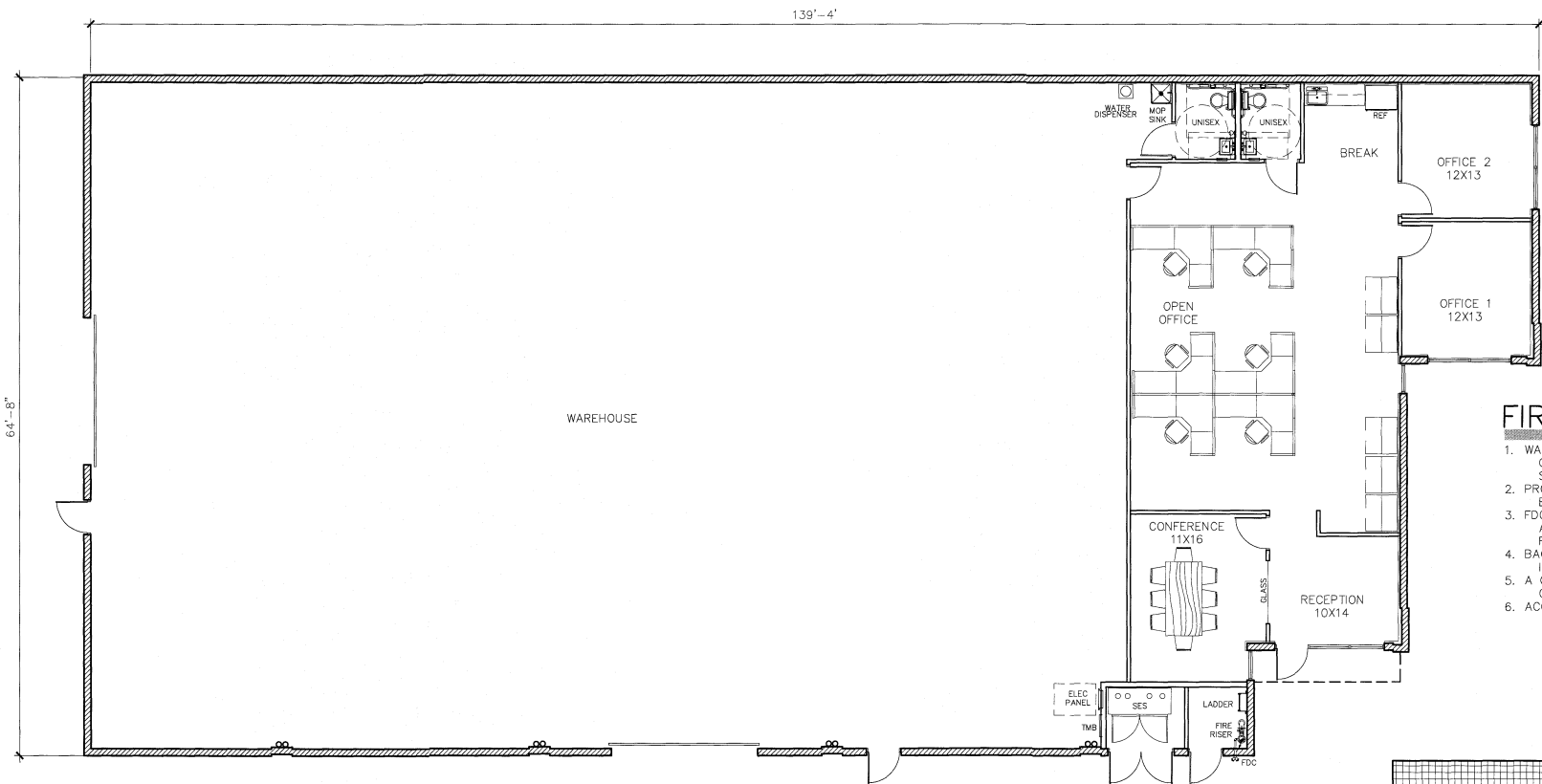
sheet 2.1



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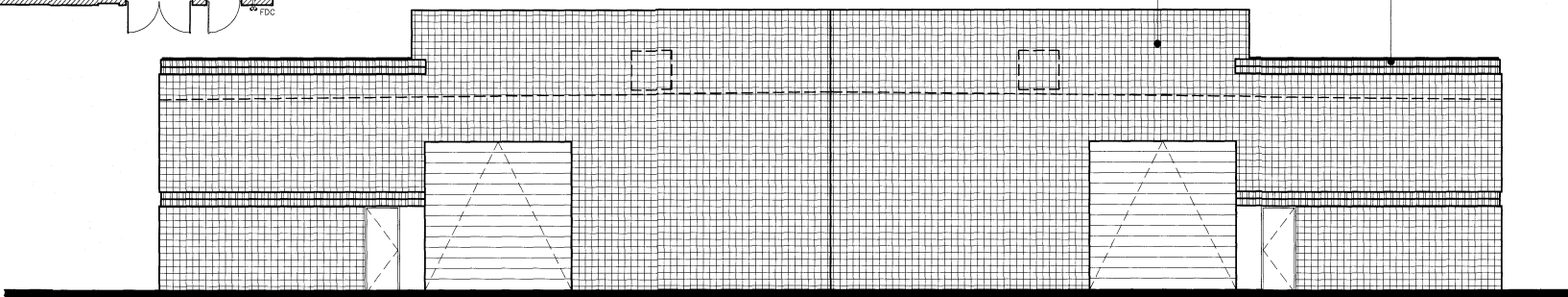
FIRE DEPARTMENT

1. WATER SUPPLY. SPRINKLER WATER SUPPLY SHALL BA A SPEARATE CONNECTION TO LOOPED PUBLIC WATER SUPPLY AND SHALL NOT SERVE DOMESTIC WATER SERVICE SUPPLY LINES OR FIRE HYDRANTS.
2. PROVIDE MINIMUM REQUIRED FIRE-FLOW AND HYDRANT BASED ON BUILDING CONSTRUCTION TYPE AND APPENDIX B & C.
3. FDC SHALL BE WITHIN 150' OF A HYDRANT AND LOCATED ON THE ADDRESS SIDE OF THE BUILDING OR THE MOST NATURAL APPROACH FOR FIRE APPARATUS.
4. BACK FLOW PREVENTOR SHALL BE INSTALLED ON THE FIRE RISER INSIDE RISER ROOM.
5. A COMPLETE BUILDING CODE ANALYSIS IS REQUIRED UPON SUBMITTAL OF CONSTRUCTION DOCUMENTS.
6. ACCESS GATES SHALL COMPLY WITH FIRE REGULATION 12-503.6.



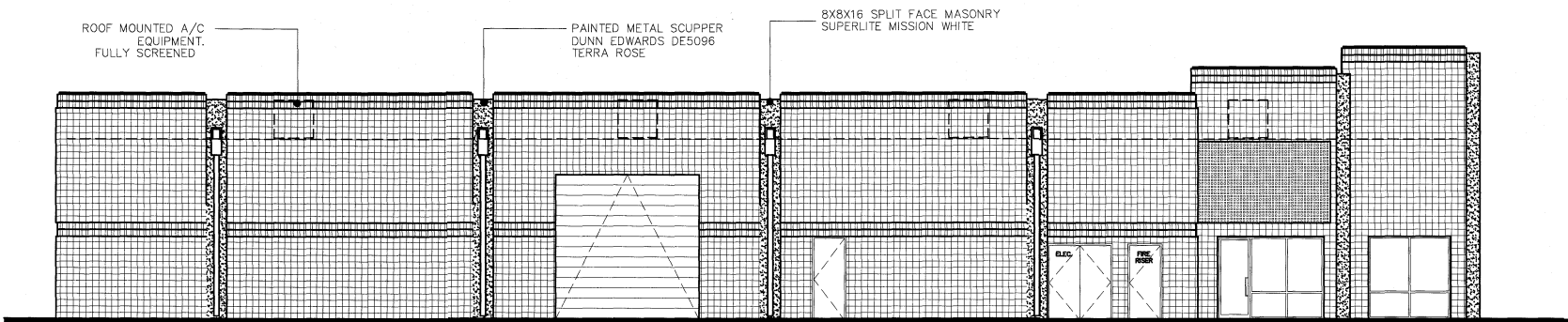
FLOOR PLAN

SCALE: 1/8"=1'-0"



EAST ELEVATION

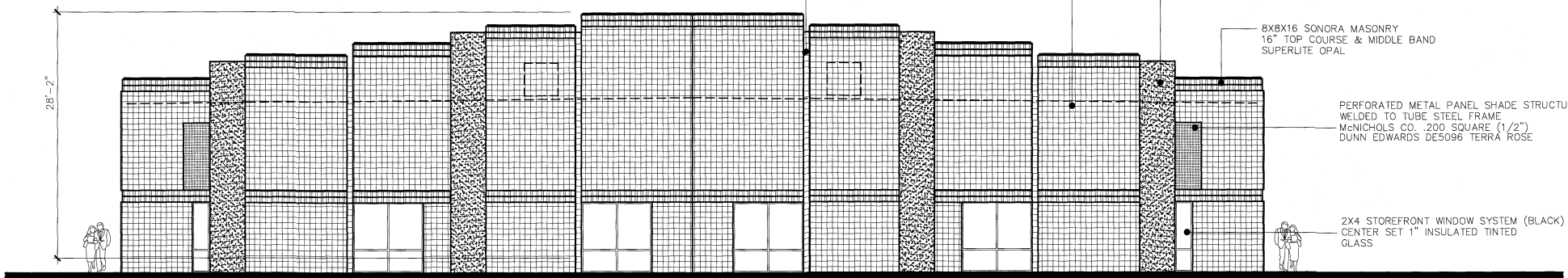
SCALE: 1/8"=1'-0"



NORTH ELEVATION

SCALE: 1/8"=1'-0"

SOUTH ELEVATION MIRROR
IMAGE OF NORTH ELEVATION



WEST ELEVATION

SCALE: 1/8"=1'-0"

DO NOT SCALE DRAWINGS

DESIGN PLAN/ELEVATIONS

NEW OFFICE/WAREHOUSE
135/145 N. PASADENA
GILBERT, ARIZONA

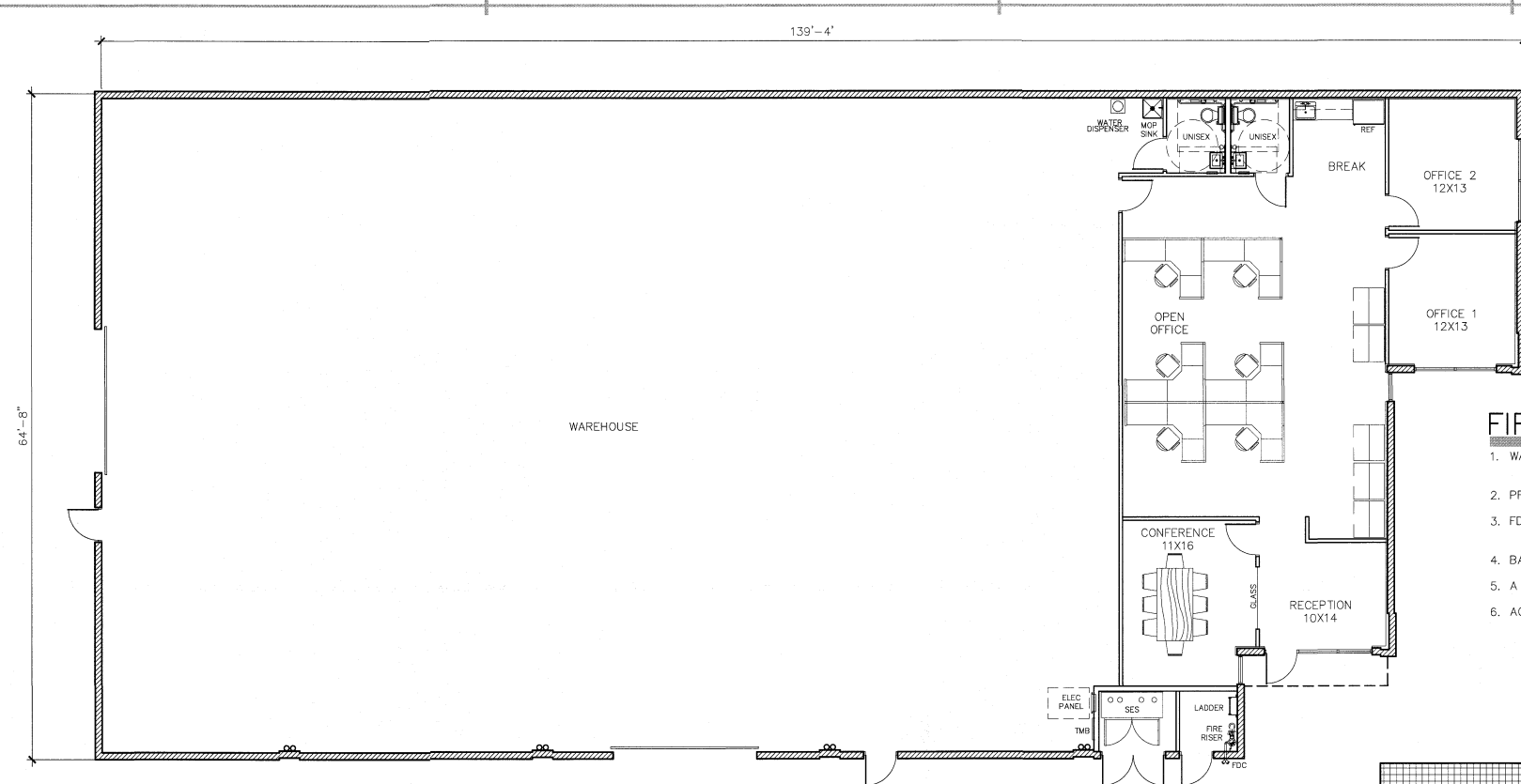
job no: 19110

date: 4-4-19

revisions:

4-11-19
4-21-19
7-1-19

sheet 2.1



FIRE DEPARTMENT

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6. ACCESS GATES SHALL COMPLY WITH FIRE REGULATION 12-503.6.

8X8X16 SONORA MASONRY
16" TOP COURSE & MIDDLE BAND
SUPERLITE OPAL

8X8X16 SINGLE SCORE MASONRY
SUPERLITE NATURAL GRAY



FLOOR PLAN

SCALE: 1/8"=1'-0"

EAST ELEVATION

SCALE: 1/8"=1'-0"

ROOF MOUNTED A/C
EQUIPMENT,
FULLY SCREENED

PAINTED METAL SCUPPER
DUNN EDWARDS DE5096
TERRA ROSE

8X8X16 SPLIT FACE MASONRY
SUPERLITE MISSION WHITE

NORTH ELEVATION

SCALE: 1/8"=1'-0"

8X8X8 SMOOTH FACE
MASONRY VERTICAL ACCENT
SUPERLITE SAN MATEO ROSE

8X8X16 SINGLE SCORE MASONRY
SUPERLITE NATURAL GRAY

8X8X16 SPLIT FACE MASONRY
SUPERLITE MISSION WHITE

8X8X16 SONORA MASONRY
16" TOP COURSE & MIDDLE BAND
SUPERLITE OPAL

PERFORATED METAL PANEL SHADE STRUCTURE
WELDED TO TUBE STEEL FRAME
McNICHOLS CO. .200 SQUARE (1/2")
DUNN EDWARDS DE5096 TERRA ROSE

2X4 STOREFRONT WINDOW SYSTEM (BLACK)
CENTER SET 1" INSULATED TINTED
GLASS

WEST ELEVATION

SCALE: 1/8"=1'-0"

DO NOT SCALE DRAWINGS

DESIGN PLAN/ELEVATIONS

job no: 19110

date: 4-4-19

revisions:

4-11-19
4-21-19
7-1-19

sheet 2.1

NEW OFFICE/WAREHOUSE
135/145 S. PASADENA
GILBERT, ARIZONA



7330 EAST EARLL DRIVE, #A
SCOTTSDALE, ARIZONA 85251
PHONE: 480-990-2120
FAX: 480-990-2130

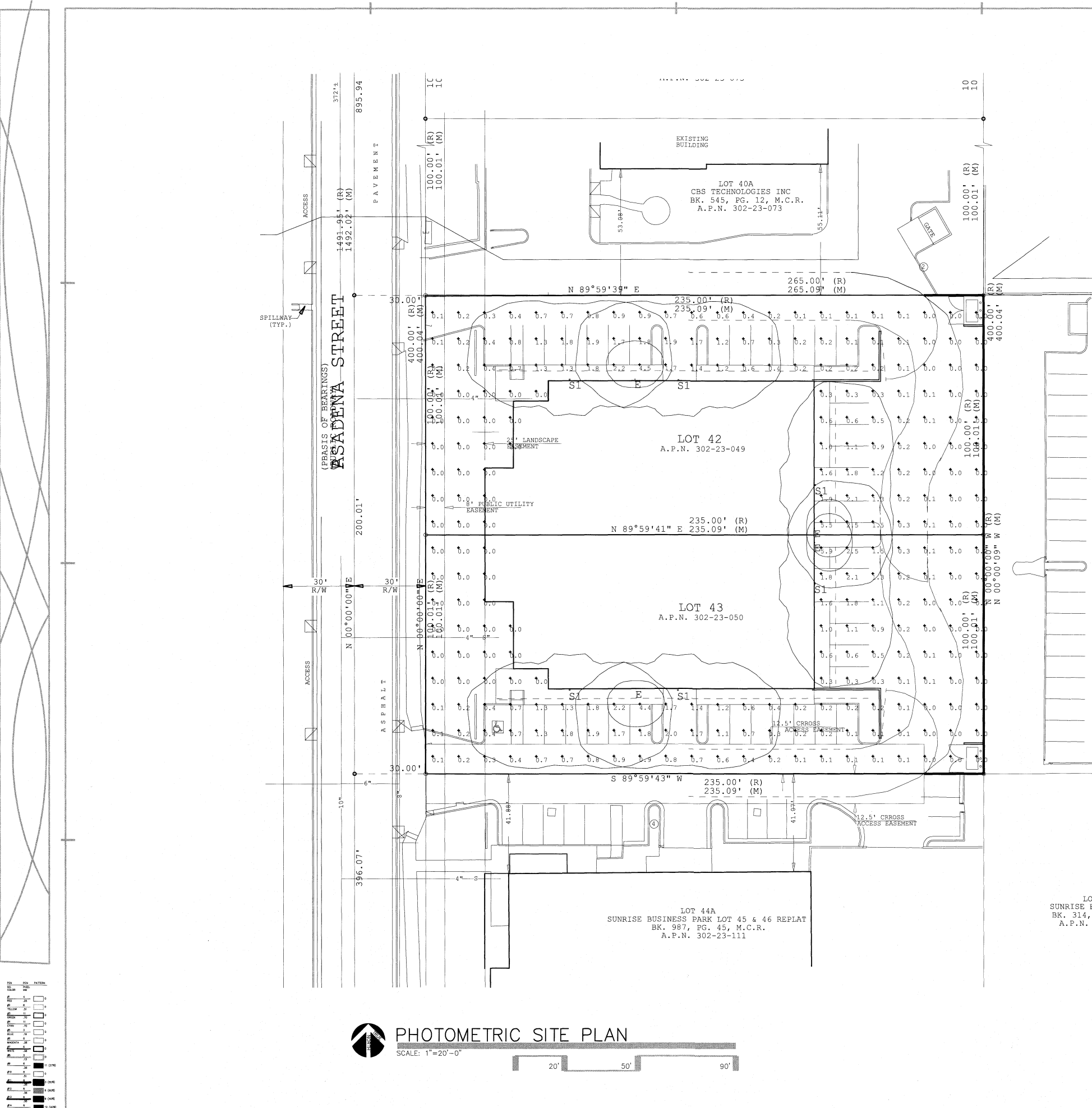
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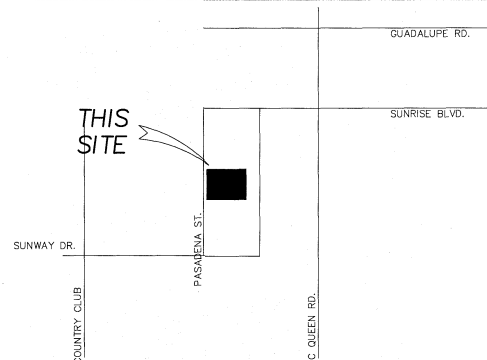
NEW OFFICE/WAREHOUSE
135/145 N. PASADENA
GILBERT, ARIZONA

job no: 19110
date: 4-4-19
revisions:

sheet 1.1



LOCATION MAP



PHOTOMETRIC SITE PLAN

SCALE: 1"=20'-0"



DO NOT SCALE DRAWINGS

PHOTOMETRIC SITE PLAN

**PGN****High Performance LED Sconce**

Catalog Number	
Comments	Type

FEATURES**Application**

The PGN is an indoor or outdoor architectural high performance LED sconce which offers "Normally On" and emergency operation in one fixture. "Normally On" operation is powered by line voltage (120 or 277) that can be switched on/off and used for accent lighting, entrance/exit illumination. Failure of line voltage will result in automatic operation from secondary DC voltage which must be supplied from an external 6-12V DC emergency lighting unit. The PGN includes a field installable full cut-off shield to address "dark sky" compliant requirements.

Construction

Housing and mounting plate are constructed of 1/8" die-cast aluminum and sealed with a 1/8" closed-cell silicone gasket. The acrylic lens allows 92% light transmission. The reflector is electro-polished aluminum with 95% reflectance. Housing finish is powder coated electro-deposition paint available in four colors: dark bronze, white, platinum silver and black. Full cut-off shield constructed of cold-rolled steel, painted to match color as ordered.

Installation

Universal backplate knockouts for mounting to standard 3 1/2", 4" octagonal and 4" square electrical boxes. Backplate mounting is performed using installer supplied hardware. An adhesive-backed neoprene gasket is provided to ensure a waterproof seal. A 1/2" - 1/4 NPT threaded conduit opening is provided at the top of the enclosure and sealed with a closure plug. The housing "snaps" to the back plate by a "pin and socket" arrangement, and is secured with two Phillips head screws.

Illumination

The unit is illuminated by 4 high power LED's arranged so that in the event of 1 or 2 LED failures the unit will continue to operate.

Compliances

UL 924 Listed
UL Wet Location Listed
NFPA 101 Life Safety Code
NFPA 70 National Electrical Code
OSHA
IES full cut-off compliant with application of field installed shield
U.S. Patent No. D627,916

Warranty

Three-year warranty for unit and electronics

**ORDERING GUIDE****PGN**

Model

Finish

W - White
Z - Dark Bronze
P - Platinum Silver
B - Black



**PGN****High Performance LED Sconce****SPECIFICATIONS****Electronics**

The PGN has two modes of operation:

Normal mode: In normal mode, power is supplied from 120V or 277V AC source and may be switched on/off allowing the unit to behave like a typical luminaire.

Emergency mode: Upon failure of normal utility power, an external (6-12VDC) emergency power source (supplied separately) having transfer logic will operate the PGN as an emergency unit. In order for the unit to function properly as emergency lighting (NEC 700.12), the DC emergency source must be powered (under normal conditions) from the same AC circuit as that to the unit.

Number of Lamps: Four High Output LEDs

LED Lamplife: 48,000 hrs. at 70% of initial

Lamp Configuration: 4 individually driven LEDs provide illumination. In the event of 1 or 2 LED failures, the remaining LED's will continue to function.

Lamp Color: Neutral White, 4000K

Color Rendering Index (CRI): 75

Total Lamp Output: 445 Lumens min. initial

Input: 120/277VAC, 60 Hz. "Normal"

6-12VDC "Emergency"

Functional Circuitry: Transient surge protection

Operating Temperature Range

-30°C to 50°C (-22°F to 122°F)

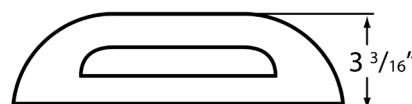
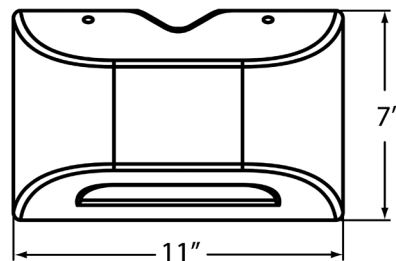
Power Consumption:**Normal**

17W @ 120VAC, 17W @277VAC

Emergency

12W @ 6VDC, 13W @12VDC

Power Factor: Average .80 (lagging)

DIMENSIONS**COMPATIBLE EMERGENCY UNITS**

		6 V DC	12V DC	120/277 VAC	Remote Capacity	# of PGN
Combo⁽¹⁾	HCXURWRC12	✓			12 W	1
	HCXURW-0-RC12	✓			23 W	1
Unit⁽¹⁾	LZ30	✓			20 W	1
	LZ65	✓			55 W	4
	LM33	✓			18 W	1
	LM40	✓			25 W	2
	LM40-12V		✓		25 W	2
	AS80	✓			65 W	5
Inverter	LiteGear® LG125			✓	125 Va	6

⁽¹⁾ Each instance assumes standard lamp-heads are used on the unit, except the **HCXURW-0-RC12**, which is supplied without lamp heads.

ILLUMINATION PATTERN**Single Unit Coverage**

Mounting Height: 9'

Outdoor Reflectance: 0/30/10

Indoor Reflectance: 80/50/20



	Indoor	Outdoor
1 FC Average (W x D)	35' X 10'	29' X 10'
1 FC Minimum (W x D)	11' X 10'	10' X 10'

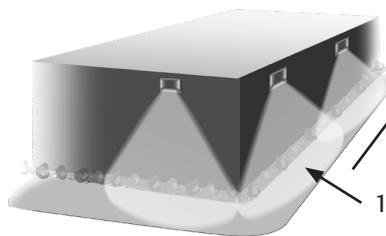
Multiple Unit Spacing

Mounting Height: 9'

Illuminated Path Depth: 6'

Outdoor Reflectance: 0/30/10

Indoor Reflectance: 80/50/20



	Indoor	Outdoor
1 FC Average	49'	37'
1 FC Minimum	19'	16'